



City of
Gibbon, Nebraska

Blight and Substandard Study
Redevelopment Area #2

Project No. 18-0174 Phase 400

Prepared by

olsson

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BLIGHT AND SUBSTANDARD DETERMINATION STUDY REDEVELOPMENT AREA #2

City of Gibbon, Buffalo County, Nebraska
August 2018

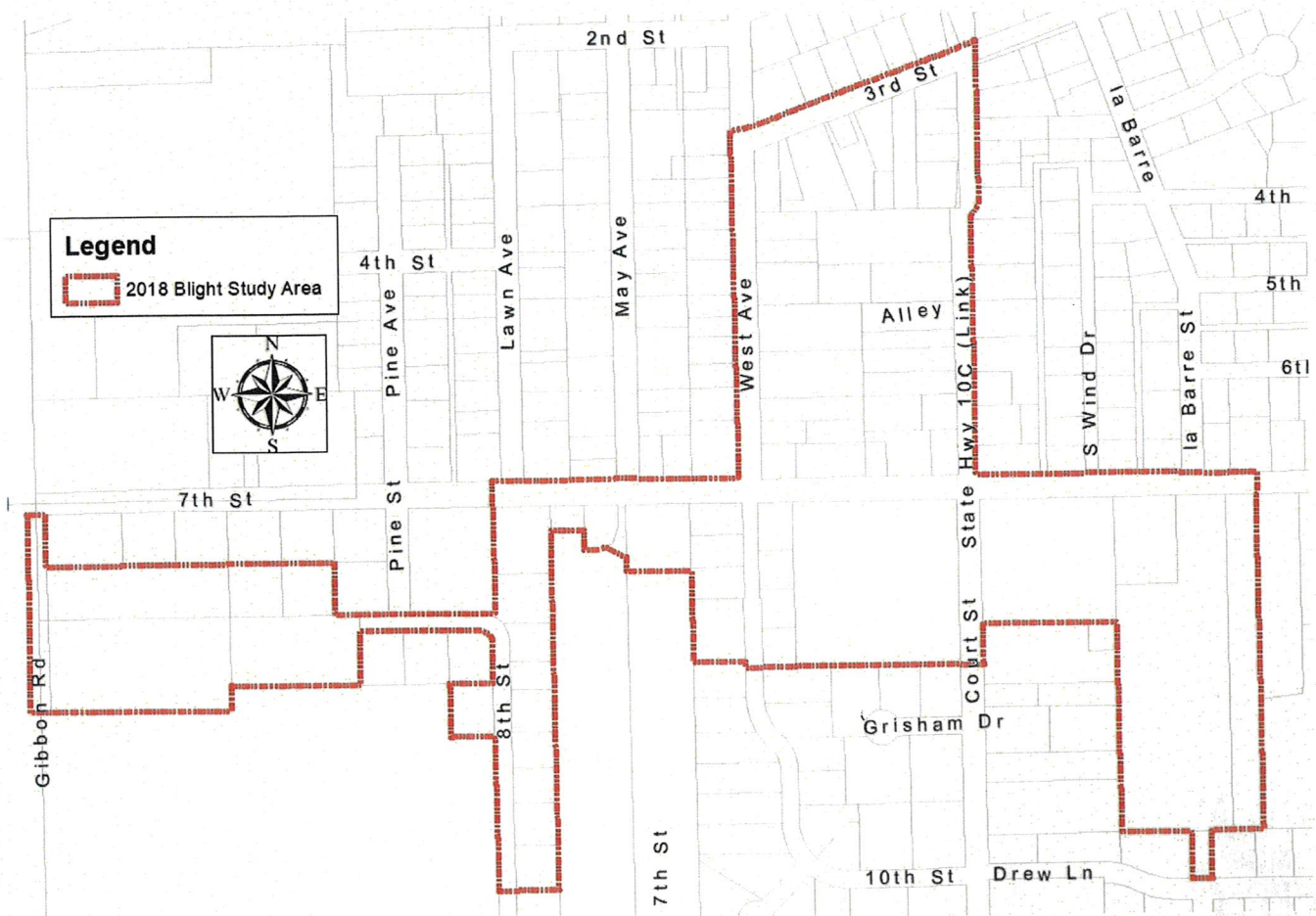
EXECUTIVE SUMMARY

Purpose of Study

The purpose of this study is to determine whether a specific area of the City of Gibbon, Nebraska, qualifies as a blighted and substandard area with the definition set forth in the Nebraska Community Development Law, Revised State Statutes, Sections 18-2101 to 18-2144.

The findings presented in this City of Gibbon, Nebraska, Blight and Substandard Determination Study are based on surveys and analyses conducted by Olsson for the City of Gibbon, Nebraska, for specifically identified area within the corporate limits, also referred to as the study area. **Illustration 1** delineates the study area.

Illustration 1



REVELOPMENT AREA #2 DESCRIPTION

A TRACT OF LAND BOUNDED BY THE NORTH LINE OF THIRD STREET, THE WEST LINE OF GIBBON ROAD, THE EAST LINE OF TAX LOT 17, AND THE NORTH LINE OF LOT 3, KROLL'S FOURTH ADDITION TO THE CITY OF GIBBON, BUFFALO COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THIRD STREET AND THE EAST LINE OF COURT STREET; THENCE SOUTHERLY 69.6' MORE OR LESS TO THE INTERSECTION OF THE SOUTH LINE OF THIRD STREET AND THE EAST LINE OF COURT STREET; THENCE SOUTHERLY ON THE EAST LINE OF COURT STREET, 430.9 FEET MORE OR LESS TO A BEND IN THE EAST LINE OF SAID COURT STREET; THENCE SOUTHWESTERLY ON THE EAST LINE OF COURT STREET, 44.7 FEET MORE OR LESS TO A BEND IN THE EAST LINE OF SAID COURT STREET; THENCE SOUTHERLY ON THE EAST LINE OF COURT STREET, 709.9 FEET MORE OR LESS TO THE INTERSECTION OF THE EAST LINE OF COURT STREET AND THE NORTH LINE OF SEVENTH STREET; THENCE EASTERLY ON THE NORTH LINE OF 7TH STREET, 797.0 FEET MORE OR LEES; THENCE SOUTHERLY ON THE EXTENSION OF THE EAST LINE OF OUT LOT 17, 1,024.0 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF TAX LOTS 17 AND 16, 150.6 FEET MORE OR LESS; THENCE SOUTHERLY ON THE EAST LINE OF LABARRE STREET, 136.8 FEET MORE OR LESS; THENCE WESTERLY ON THE NORTH LINE OF DREW LANE, 60.0' MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF LABARRE STREET, 136.8 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF TAX LOT 16, 197.4 FEET MORE OR LESS; THENCE NORTHERLY ON THE EAST LINE OF TAX LOT 16, 605.0 FEET MORE OR LESS; THENCE WESTERLY ON THE NORTH LINE OF TAX LOT 2, 380.0 FEET; THENCE SOUTHERLY ON THE EAST LINE OF COURT STREET, 113.7 FEET MORE OR LESS; THENCE WESTERLY ON THE EXTENSION OF THE SOUTH LINE OF GIBBON COMMUNITY GOOD SAMARITAN HOME TO A POINT ON THE WEST LINE OF WEST AVENUE, 678.8 FEET MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF WEST AVENUE 16.7 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF LOT 7, SPACE ACRES SUBDIVISION, 146.1 FEET MORE OR LESS; THENCE NORTHERLY ON THE EAST LINE OF TAX LOT 9, 252.5 FEET MORE OR LESS; THENCE WESTERLY TO THE WEST LINE OF TAX LOT 9, 207.8 FEET MORE OR LESS; THENCE NORTHERLY ON THE EAST LINE OF TAX LOT 10, 62.0 FEET MORE OR LESS; THENCE NORTHWESTERLY 29.6 FEET MORE OR LESS; THENCE WESTERLY, 85.0 FEET MORE OR LESS; THENCE NORTHERLY 40.0 FEET MORE OR LESS; THENCE WESTERLY TO THE WEST LINE OF TAX LOT 10, 89.2 FEET MORE OR LESS; THENCE SOUTHERLY ON THE WEST LINE OF TAX LOT 10, 997.1 FEET MORE OR LESS; THENCE WESTERLY ON THE NORTH LINE OF LOT 3, KROLL'S FOURTH ADDITION EXTENDED TO A PONT ON THE WEST LINE OF LAWN AVENUE, 175.0 FEET; THENCE NORTHERLY ON THE WEST LINE OF LAWN AVENUE, 428.0 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF LOT 1, KROLL'S THIRD ADDITION, 125.0 FEET MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF SAID LOT 150.0 FEET MORE OR LESS; THENCE EASTERLY ON THE NORTH LINE OF SAID LOT 125.0 FEET MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF LAWN AVENUE, 119.7 FEET MORE OR LESS; THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 30.0 FEET AND A LENGTH OF 47.66 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF EIGHTH STREET, 344.7 FEET MORE OR LESS; THENCE SOUTHERLY ON THE WEST LINE OF LOT 4, KROLL'S THIRD ADDITION, 150.0 FEET MORE OR LESS; THENCE WESTERLY ON THE SOUTH LINE OF PART OF TAX LOT 12, 354.9 FEET MORE OR LESS; THENCE SOUTHERLY 50.0 FEET MORE OR LESS; THENCE WESTERLY TO A POINT ON THE WEST LINE OF GIBBON ROAD, 583.0 FEET MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF GIBBON ROAD 550.0 FEET MORE OR LESS; THENCE EASTERLY TO THE EAST LINE OF GIBBON ROAD AND THE NORTHWEST CORNER OF LOT 6, KROLL'S ADDITION, 66.00 FEET MORE OR LESS; THENCE SOUTHERLY ON THE WEST LINE OF SAID LOT 6, 150.0 FEET MORE OR LESS; THENCE

EASTERLY ON THE SOUTH LINE OF LOTS 6, 5, 4, 3, AND 2 OF KROLL'S ADDITION, 816.8 FEET MORE OR LESS; THENCE SOUTHERLY ON THE WEST LINE OF LOT 12, KROLL'S ADDITION, 150.0 FEET MORE OR LESS; THENCE EASTERLY ON THE NORTH LINE OF EIGHTH STREET, 290.4 FEET MORE OR LESS; THENCE NORTHERLY ON THE EAST LINE OF A TRACT IN PART OF LOT 12 IN THE NW 1/4 SECTION 24, T9N, R14W, EXTENDED TO A POINT ON THE NORTH LINE OF 7TH STREET, 366.0 FEET MORE OR LESS; THENCE EASTERLY ON THE NORTH LINE OF 7TH STREET TO THE INTERSECTION OF THE NORTH LINE OF SEVENTH STREET AND THE WEST LINE OF COURT STREET, 709.3 FEET MORE OR LESS; THENCE NORTHERLY ON THE WEST LINE OF WEST AVENUE, 968.9 FEET MORE OR LESS TO A POINT THAT INTERSECTS WITH THE SOUTHWESTERLY EXTENSION OF THE NORTH R.O.W. LINE OF THIRD STREET; THENCE NORTHEASTERLY ON THE NORTH LINE OF THIRD STREET 762.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, CONTAINING 56.65 ACRES MORE OR LESS.

CONCLUSION

The study findings support a blighted and substandard designation for the study area. The presence of blighted and substandard factors reveals the study area needs revitalization and strengthening to ensure it will contribute to the physical, economic, and social well-being of the City of Gibbon, Nebraska. Study findings support that the private sector has not invested in the growth or development of the study area. In addition, the area cannot be reasonably developed without ("but for" test) the Nebraska Community Development Law's potential aid.

The City of Gibbon's elected board and city management are encouraged to review the results of this study with legal counsel to compare these findings to the requirements of the Nebraska Community Development Law and take into consideration the declaration of the study area as blighted and substandard.

INTRODUCTION

This blight and substandard determination study examines existing conditions of land use, buildings, and structures within the City of Gibbon, Buffalo County, Nebraska, to determine eligible areas for redevelopment activities. Specific areas within the city that have the potential for redevelopment activities to overcome blighted and substandard conditions were studied. When evaluating blight and substandard conditions, the city shall adhere to Nebraska Community Development Law, as provided for in the Nebraska Revised State Statutes.

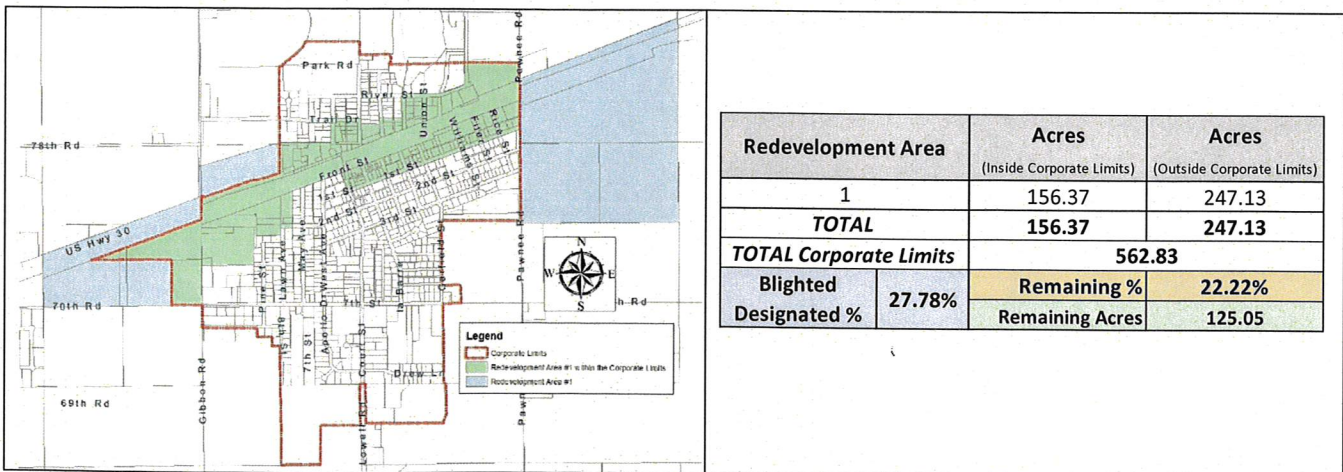
Nebraska Revised State Statute 18-2101.01, enables a municipality to declare that blight and substandard conditions exist. The statute reads as follows:

The governing body of a city, to the greatest extent it deems to be feasible in carrying out the provisions of sections 18-2101 to 18-2144, shall afford maximum opportunity, consistent with sound needs of the city as a whole, to the rehabilitation or redevelopment of the community redevelopment area by private enterprises. The governing body of a city shall give consideration to this objective in exercising its powers under sections 18-2101 to 18-2144, including the formulation of a workable program, the approval of community redevelopment plans consistent with the general plan for the development of the city, the exercise of its zoning powers, the enforcement of other laws, codes, and regulations relating to the use and occupancy of buildings and improvements, the disposition of any property acquired, and providing of necessary public improvements.

Furthermore, Nebraska Revised State Statute 18-2103.11 provides:

...In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a village shall not designate an area larger than one hundred percent of the village as blighted.

Illustration 2



• Total acres for each redevelopment area were generated by geographic information system and not by legal survey. For exact acres, a legal survey is required.

This blight and substandard determination study for Redevelopment Area #2 would add 56.69 acres to the City's designated blighted and cause a total percentage of 37.85% as designated blighted area.

This blight and substandard determination study is intended to give the community development agency (CDA) and the city's elected board the basis for determining whether blighted and substandard conditions exist within the City of Gibbon's corporate limits. Through the determination process, the city attempts to eliminate economic and/or social concerns, which are detrimental to the future public health, safety, morals, and general welfare of the entire community.

The findings of this blight and substandard study provide the structure of the redevelopment plan for the community. The redevelopment plan will contain, in accordance with the provisions of Nebraska Community Development Law, local objectives regarding appropriate land uses, improved traffic circulation, trails and bike paths, economic development activities, public infrastructure, public utilities, and other public improvements.

BLIGHT AND SUBSTANDARD ELIGIBILITY ANALYSIS

The evaluation that the City of Gibbon, Nebraska is eligible for a blight and substandard analysis was made on the basis that existing blighted and substandard factors must be present to an extent which would lead a reasonable person to conclude public intervention is appropriate or necessary to assist with any redevelopment activities.



Substandard areas are defined by Nebraska Revised State Statute 18-2103.10 as the following:

Substandard areas shall mean an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, and is detrimental to the public health, safety, morals, or welfare.



Blighted areas are defined by Nebraska Revised State Statute 18-2103.11 as the following:

Blighted area shall mean an area, which (a) by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility or usefulness, unsanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use and (b) in which there is at least one of the following conditions: (i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average; (ii) the average age of the residential or commercial





units in the area is at least forty years; (iii) more than half of the plotted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or City in which the area is designated; or (v) that the area has had either stable or decreasing population based on the last two decennial censuses...

Because of these definitions, the City of Gibbon, Nebraska, was deemed eligible for a blight and substandard analysis, and public intervention is appropriate or necessary to assist with redevelopment of specific areas in the community.



Contributing Factors

Population

Illustration 3 provides U.S. Census Bureau recorded population numbers for communities and unincorporated areas within Buffalo County, Nebraska, and the state of Nebraska from 1990 to 2010. The City of Gibbon's population has increased more than 16 percent since 1990. Based on the last two decennial censuses, the City of Gibbon's population growth does not make population a contributing factor of blighted conditions within a community.

Illustration 3
Population 1990 - 2010
Buffalo County Communities and Unincorporated Areas

Community	1990	2000	% Change 1990-2000	2010	% Change 2000-2010	% Change 1970-2010	% Change Last Two Decennial Censuses 1990-2010
Nebraska	37603	42341	11.19%	1826341	97.68%	98.29%	97.94%
Buffalo County	37603	42341	11.19%	46102	8.16%	32.09%	18.44%
Gibbon	1530	1754	12.77%	1835	4.41%	100.00%	16.62%
Amherst	230	261	11.88%	248	-5.24%	100.00%	7.26%
Elm Creek	852	894	4.70%	901	0.78%	100.00%	5.44%
Kearney	24993	27576	9.37%	30997	11.04%	100.00%	19.37%
Miller	130	156	16.67%	136	-14.71%	100.00%	4.41%
Pleasanton	375	361	-3.88%	341	-5.87%	100.00%	-9.97%
Ravenna	1375	1385	0.72%	1362	-1.69%	100.00%	-0.95%
Riverdale	216	209	-3.35%	182	-14.84%	100.00%	-18.68%
Shelton	959	1135	15.51%	1060	-7.08%	100.00%	9.53%
Incorporated Areas	30660	33731	9.10%	37062	8.99%	100.00%	17.27%
Unincorporated Areas	6943	8610	19.36%	9040	4.76%	-246.32%	23.20%

Source: U.S. Bureau of the Census, Profile of General Population and Housing Characteristics, 1990-2010

Structure Age

Structure obsolescence or age are contributing factors of blight and substandard conditions in the study area.

Illustration 4 provides information that a majority of structures in the study area are more than 40 years old. The study area has 82 structures. Based upon structure age research using photographic information and parcel information gained from <http://buffalo.gisworkshop.com>, 39 structures are at least 40 years old and 23 structures have an unknown age. Based upon field observations and additional research from <http://buffalo.gisworkshop.com>, there are approximately 16.04 acres of land within the study area that are vacant or undeveloped. Study results demonstrate that 75.61 percent of the structures surveyed may be classified as obsolescent, or at least 40 years old.

Structure Condition

Structure dilapidation, deterioration, and/or existence of conditions that endanger life or property by fire and other causes, or any combination of such factors, are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime and are detrimental to the public health, safety, morals, or welfare of the community. All are contributing factors of blight and substandard conditions in the study area.

This section explores the land use, building, and structural conditions found within the study area and are based upon the statutory definitions and on contributing factors.

The structural survey inspected the exterior conditions of structures through a “windshield survey.” This means that structural surveyors were only able to evaluate the physical conditions of a structure and its immediate surroundings as visible from the public right-of-way. This survey did not include any evaluation of interior structural conditions or any other physical condition not detectable from the street.

Exterior conditions of structures were evaluated and rated in accordance with the following schedule: sound condition, minor repairs needed, major repairs needed, or dilapidated. The following descriptions define the rating schedule used to assess and evaluate building and structure conditions:

Sound Condition

- *A unit that appears new or well maintained and structurally intact. The foundation should appear structurally undamaged, and there should be straight roof lines. Siding, windows, and doors should be in good repair with good exterior paint condition. Minor problems such as small areas of peeling paint and/or other maintenance items are allowable under this category.*

Minor Repairs Needed

- *A unit that show signs of deferred maintenance or that needs only one major component, such as a roof.*

Major Repairs Needed

- *A unit in need of replacement of one or more major components and other repairs (e.g., no storm shelter, incomplete foundation work, roof structure replacement and reroofing, as well as painting and window replacement).*

Dilapidated

- *A unit suffering from excessive neglect, where the building appears structurally unsound and maintenance is nonexistent, not fit for human habitation in its current condition, may be considered for demolition, or that—at a minimum—major rehabilitation will be required.*



Illustration 5 demonstrates the existence of structures that are dilapidated, are deteriorating, or have conditions that endanger life or property by fire and other causes. The study area has 89 structures. The results of the survey indicate that 36 (40 percent) of the structures show signs of dilapidation, deterioration, and/or existence of conditions that endanger life or property by fire and other causes or any combination of such factors; are conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime; and are detrimental to the public health, safety, morals, or welfare in the study area.

Lot Layout



Faulty lot layout in relation to size and other conditions is a contributing factor to blight. There are four lots within the study area that are enclosed by parcels of property that may be of separate ownership and having no navigable route to surrounding public infrastructure. **Illustration 6** demonstrates the faulty lot layouts, which causes the use of other property to access the island property. Also, a large lot located in the south part of the study area, which was once a nursing home and assisted living facility, has been determined to be of inadequate size, configuration, accessibility, and usefulness in the present layout. There is a large presence of vacant and/or unimproved

land that is a limiting factor to the growth of the area. The present layout, or lack of appropriate land-use planning, impedes potential development and growth of the study area. Preliminary and final platting would be required for future development to occur.

Public Infrastructure Analysis

This section analyzes the condition of water, sewer, sidewalks, streets, and curb and gutter (drainage). These are the main components comprising the public infrastructure system in the study area. The public infrastructure, where possible, was analyzed and rated in a fashion similar to the structure conditions analysis.

Curb and Gutter

The presence of curb and gutter in the study area was analyzed, with the results contained within **Illustration 7**. The study area has 1.668 total centerline miles. Within the study area, 87.35 percent of the streets have curb and gutter. The remaining 12.65 percent lack curb and gutters.

Curbs and gutters are a means of stormwater collection and play an important role in the overall community drainage system. It should be noted that the study area lacks a comprehensive stormwater management plan. Curbs and Gutters are not contributing factor to the blighted and substandard conditions of the study area.



Street Conditions



Streets within the study area were analyzed for condition and status in relation to the provision of safe and efficient public circulation and access. **Illustration 7** provides the street conditions in the study area for 1.66 centerline miles. The study indicates that roughly 87.35 percent of the streets within the study area are in great condition. Roughly 8.43 percent of the streets within the area are gravel.

The condition of streets, as the inability/ability of those streets to move traffic in and through the study area, is a not contributing factor to the blighted and substandard conditions of the study area.

Sidewalks

The condition of sidewalks in the study area were analyzed; the results are presented in **Illustration 8**. The sidewalk analysis determined if sidewalks are either passable or impassable. Passable means that the sidewalk is in good condition. Impassable means that the sidewalk is in deteriorated condition or dilapidated condition or that there are no sidewalks. Sidewalks aid in separating pedestrian and vehicular traffic. The sidewalks within the study area were determined to be in passable condition and are not contributing factor to the blighted and substandard conditions of the study area.



Wastewater Utility Infrastructure

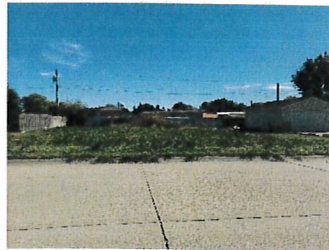
The condition of the public sanitary sewer system was analyzed and found to be maintained and operating as designed. Development of the study area may cause additional wastewater utility infrastructure demands on the system and may play a critical role in the development or growth of the study area.

Water Utility Infrastructure

The condition of the public water system was analyzed and found to be maintained and operating as designed. Development of the study area may cause additional water utility infrastructure demands on the system and may play a critical role in the development or growth of the study area.

Fire Hydrant Protection Infrastructure

A 300-foot buffer was drawn around each fire hydrant to establish a fire protection coverage area map. In general, a 350-foot buffer is used to determine a fire protection coverage area because that is the typical length of a city residential block. However, a 300-foot buffer was used in this study because 14 structures are not abutting public water services and gaining water from a hydrant may be difficult for fire protection. The results are presented in **Illustration 9**. The analysis determined that properties and structures within the study area are greater than 300 feet from a fire hydrant and are contributing factors to the blighted and substandard conditions of the study area. It should be noted that water flow (gallons per minute) is an extremely important factor when determining the appropriate distance between a fire hydrant and structures.



BLIGHT AND SUBSTANDARD STUDY FINDINGS

Of the 12 blighted factors set forth in the Nebraska Community Development Law, 9 are present in the study area. The factors of tax or special assessment exceeding the fair value of land and defective or unusual condition of title are of little to no presence. The blighting factors that are present are reasonably distributed throughout the study area.

Blighted Conditions Present in the Study Area:

- *Substantial number of deteriorating structures*
- *Unsanitary or unsafe conditions*
- *Deterioration of site or other improvements*
- *Defective or unusual conditions that endanger life or property by fire and other causes*
- *Factors that substantially impair or arrest the sound growth of the community*
- *Structures in the area at least 40 years old*
- *Faulty lot layout in relation to size and other conditions*
- *Trash, material, and other debris throughout the area*
- *Economic or social liability detrimental to health, safety, and welfare of the community*

Substandard Conditions Present in the Study Area

- *Dilapidation, deterioration, old age, or obsolescence of structures*
- *Existence of conditions that endanger life or property by fire and other causes*
- *Property structures 40 years or older*

The other eligibility criteria for blight and substandard are not present in the area but include the following:

- *Defective or unusual condition of property ownership title*
- *Inadequate provisions for ventilation, light, air, open spaces, or sanitation*
- *Diversity of ownership*
- *Declining population over the last two census periods*

Issues that were not researched because of a lack of data, confidentially, and other potential disclosure concerns include the following:

- *Tax/special assessment delinquency greater than fair value of land*
- *Tax delinquency*
- *Underemployment that equals 120 percent of the state or national average*
- *Per capita income less than city-wide average*
- *High-density population and overcrowding*

GENERAL REDEVELOPMENT PLAN

Purpose of Plan

The purpose of the Redevelopment Plan is to guide the implementation of the community development activities within the previously examined Redevelopment Study Area #2 in the City of Gibbon, Nebraska.

Nebraska Revised State Statute 18-2105 grants legal authority to the governing body to formulate a redevelopment program. The statute reads as follows:

The governing body of a city or an authority at its direction for the purposes of sections 18-2101 to 18-2144 may formulate for the entire municipality a workable program for utilizing appropriate private and public resources to eliminate or prevent the development or spread of urban blight, to encourage needed urban rehabilitation, to provide for the redevelopment of substandard and blighted areas, or to undertake such of the aforesaid activities or other feasible municipal activities as may be suitably employed to achieve the objectives of such workable program. Such workable program may include, without limitation, provision for the prevention of the spread of blight into areas of the municipality which are free from blight through diligent enforcement of housing, zoning and occupancy controls and standards; the rehabilitation or conservation of substandard or blighted areas or portions thereof by replanning, removing congestion, providing parks, playgrounds, and other public improvements by encouraging voluntary rehabilitation and by compelling the repair and rehabilitation of deteriorated or deteriorating structures; and the clearance and redevelopment of substandard and blighted areas or portions thereof.

Nebraska Revised State Statute 18-2111 requires general planning element shall be included. The statute reads,

The authority may itself prepare or cause to be prepared a redevelopment plan or any person or agency, public or private, may submit such a plan to an authority. A redevelopment plan shall be sufficiently complete to indicate its relationship to definite local objectives as to appropriate land uses, improved traffic, public transportation, public utilities, recreational and community facilities and other public improvements, and the proposed land uses and building requirements in the redevelopment project area, and shall include without being limited to: (1) The boundaries of the redevelopment project area, with a map showing the existing uses and condition of the real property therein; (2) a land-use plan showing proposed uses of the area; (3) information showing the standards of population densities, land coverage, and building intensities in the area after redevelopment; (4) a statement of the proposed changes, if any, in zoning ordinances or maps, street layouts, street levels or grades, or building codes and ordinances; (5) a site plan of the area; and (6) a statement as to the kind and number of additional

public facilities or utilities which will be required to support the new land uses in the area after redevelopment. Any redevelopment plan may include a proposal for the designation of an enhanced employment area.

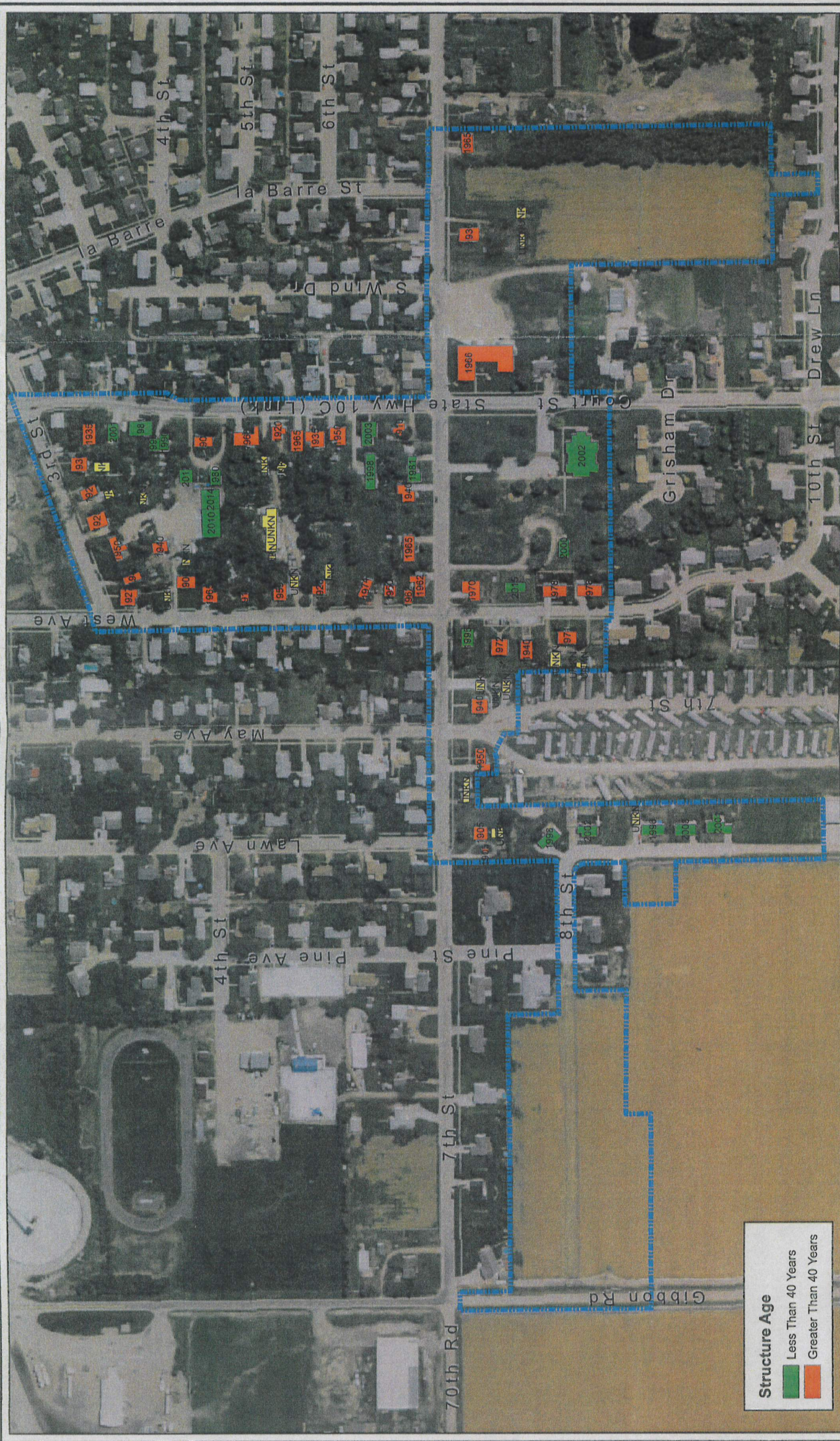
Furthermore, the Redevelopment Plan should demonstrate that proposed redevelopment efforts are in conformance with the Comprehensive Development Plan for the City of Gibbon, Nebraska. Also, the Plan should demonstrate through its design and implementation the efficient use of public funds and the mitigation of blighted and substandard conditions.

Recommendations

For the purpose of this report, primary redevelopment projects include the development of single family residential, multifamily residential and elderly living units. The specific Redevelopment Plan for Redevelopment Study Area #2 should be amended on an as-needed basis to ensure and promote the development of this area in a comprehensive way.

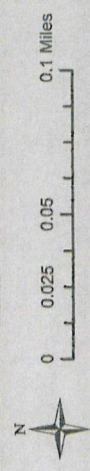
Redevelopment projects in Redevelopment Study Area #2 will require significant investment in public infrastructure including water, sanitary sewer, and streets. However, specific needs are unknown at this time in the redevelopment planning process.

Finally, the Gibbon, Nebraska Comprehensive Plan 2026 (Adopted September, 2016) recommends that Redevelopment Study Area #2 serve as an area for single family and multifamily residential. The recommended residential development of the Redevelopment Study Area #2 poses no land use conflicts but the City of Gibbon should revisit each redevelopment project in this area to ensure each project doesn't have an adverse consequence on the current and future uses of this area.



Structure Age

- Less Than 40 Years
- Greater Than 40 Years



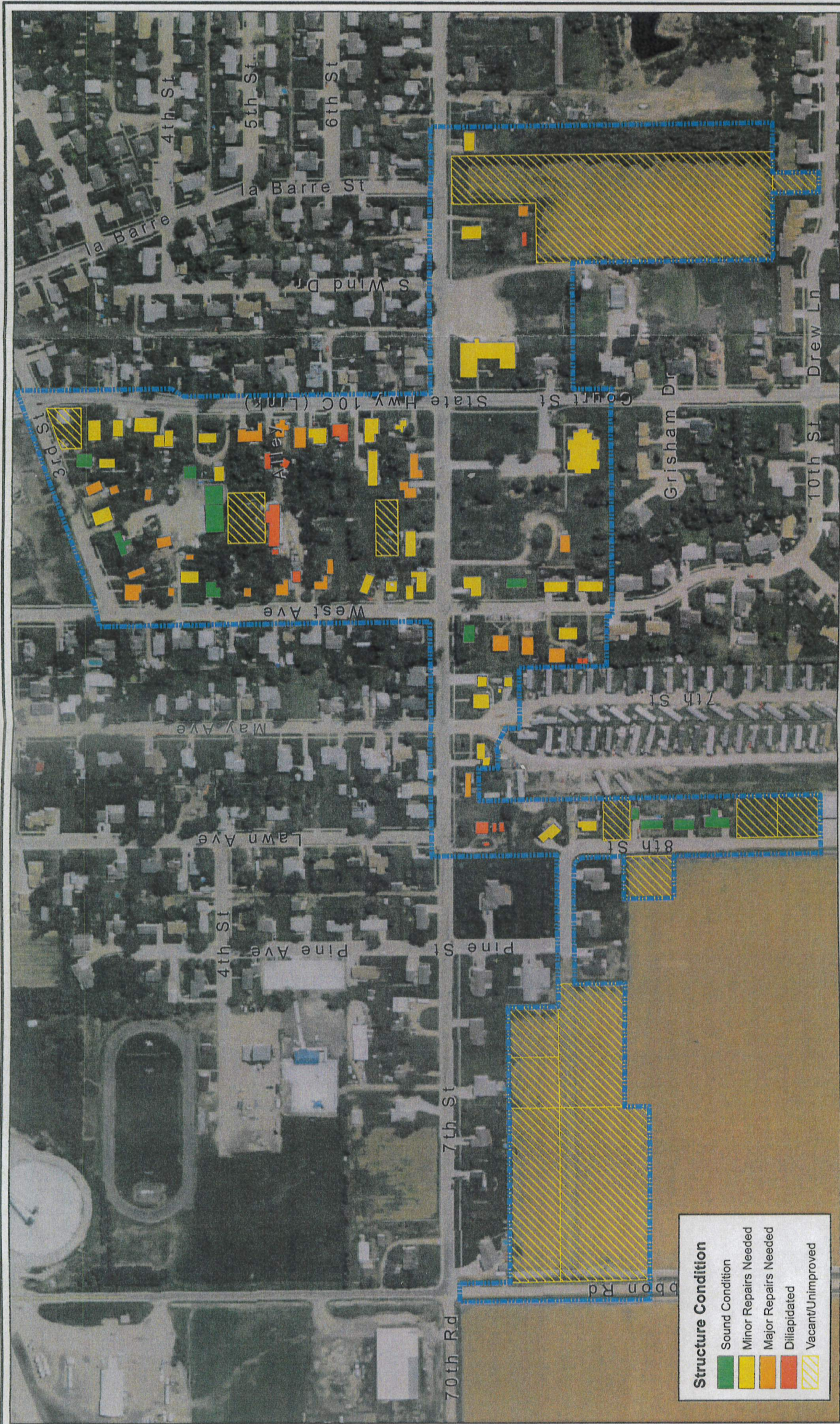
PROJECT: 018-0174 PHASE: 400
 DRAWN BY: JJOHNSON
 DATE: October 18, 2018

**BLIGHT AND SUBSTANDARD STUDY
 STRUCTURE AGE MAP
 CITY OF GIBBON, NEBRASKA**

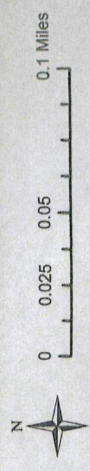
Legend

2018 Blight Study Area





Structure Condition	
Green	Sound Condition
Yellow	Minor Repairs Needed
Orange	Major Repairs Needed
Red	Dilapidated
Yellow with diagonal lines	Vacant/Unimproved



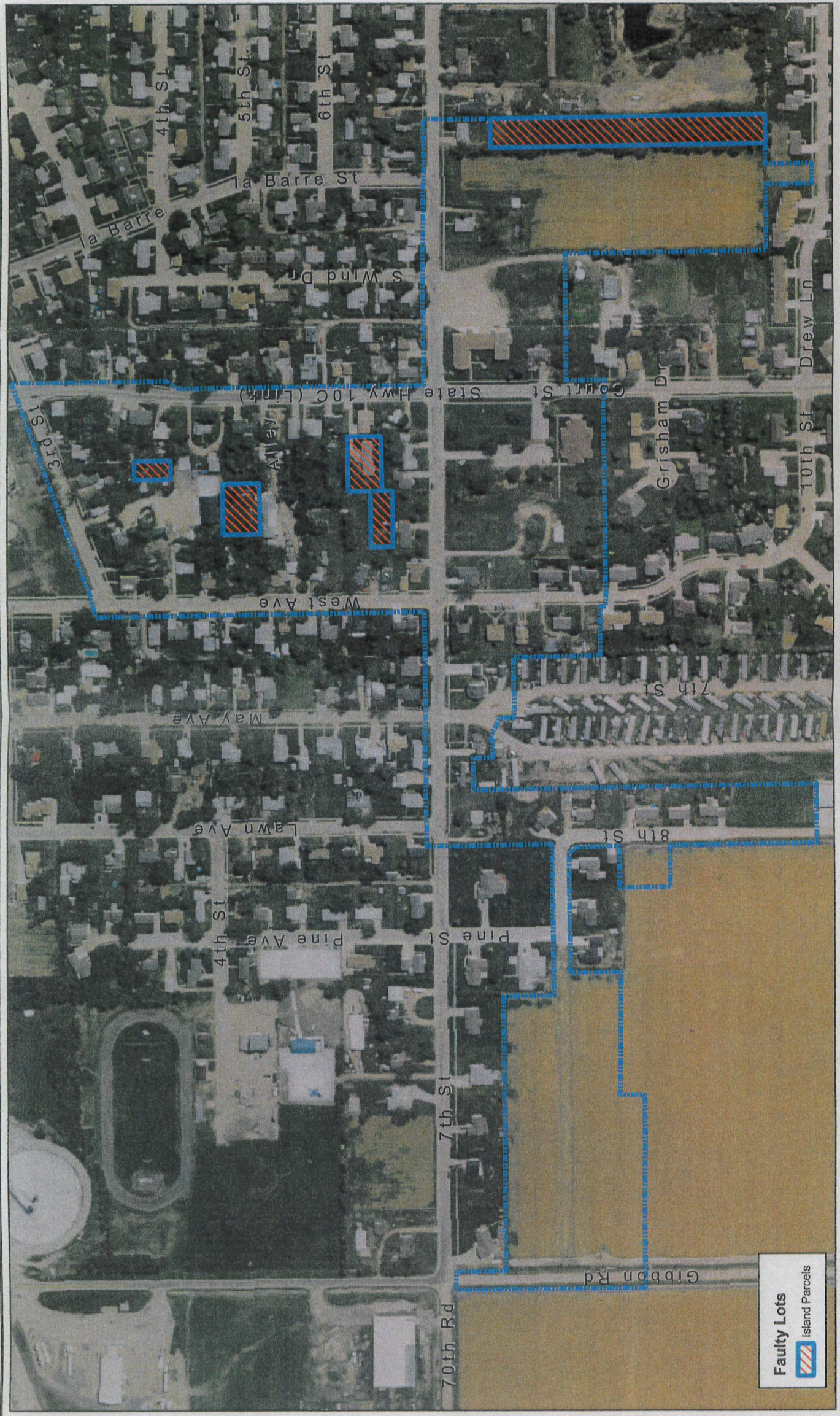
**BLIGHT AND SUBSTANDARD STUDY
STRUCTURE CONDITION MAP
CITY OF GIBBON, NEBRASKA**



Legend
2018 Blight Study Area

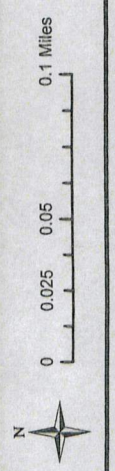


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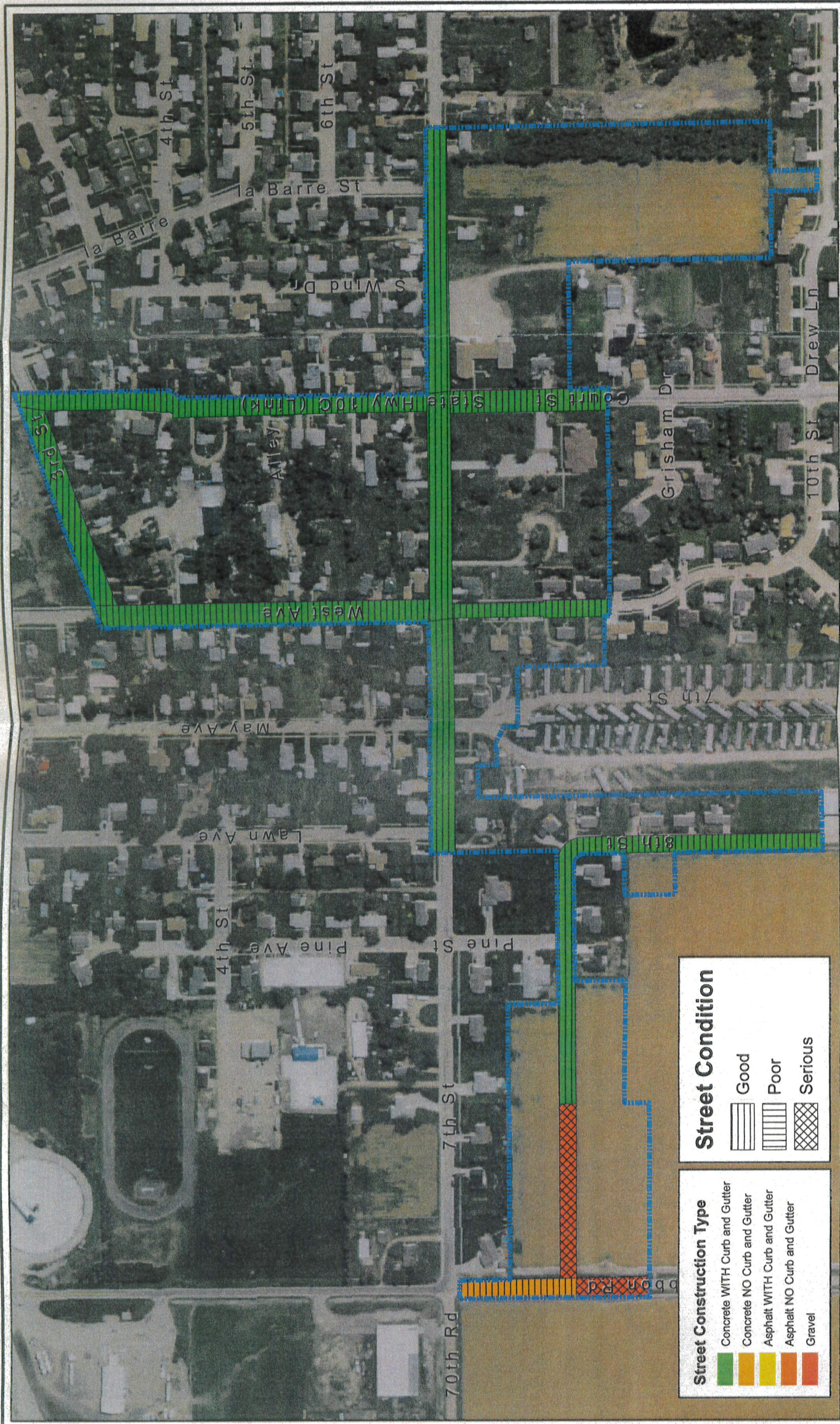
Faultily Lots
 Island Parcels

PROJECT: 018-0174 PHASE: 400
 DRAWN BY: JJJOHNSON
 DATE: October 18, 2018



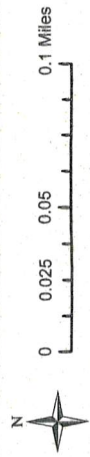
**BLIGHT AND SUBSTANDARD STUDY
 FAULTY LOT LAYOUT MAP
 CITY OF GIBBON, NEBRASKA**

Legend
 2018 Blight Study Area



Street Construction Type		Street Condition			
	Concrete WITH Curb and Gutter		Good		Poor
	Concrete NO Curb and Gutter				Gravel
	Asphalt WITH Curb and Gutter		Serious		
	Asphalt NO Curb and Gutter				

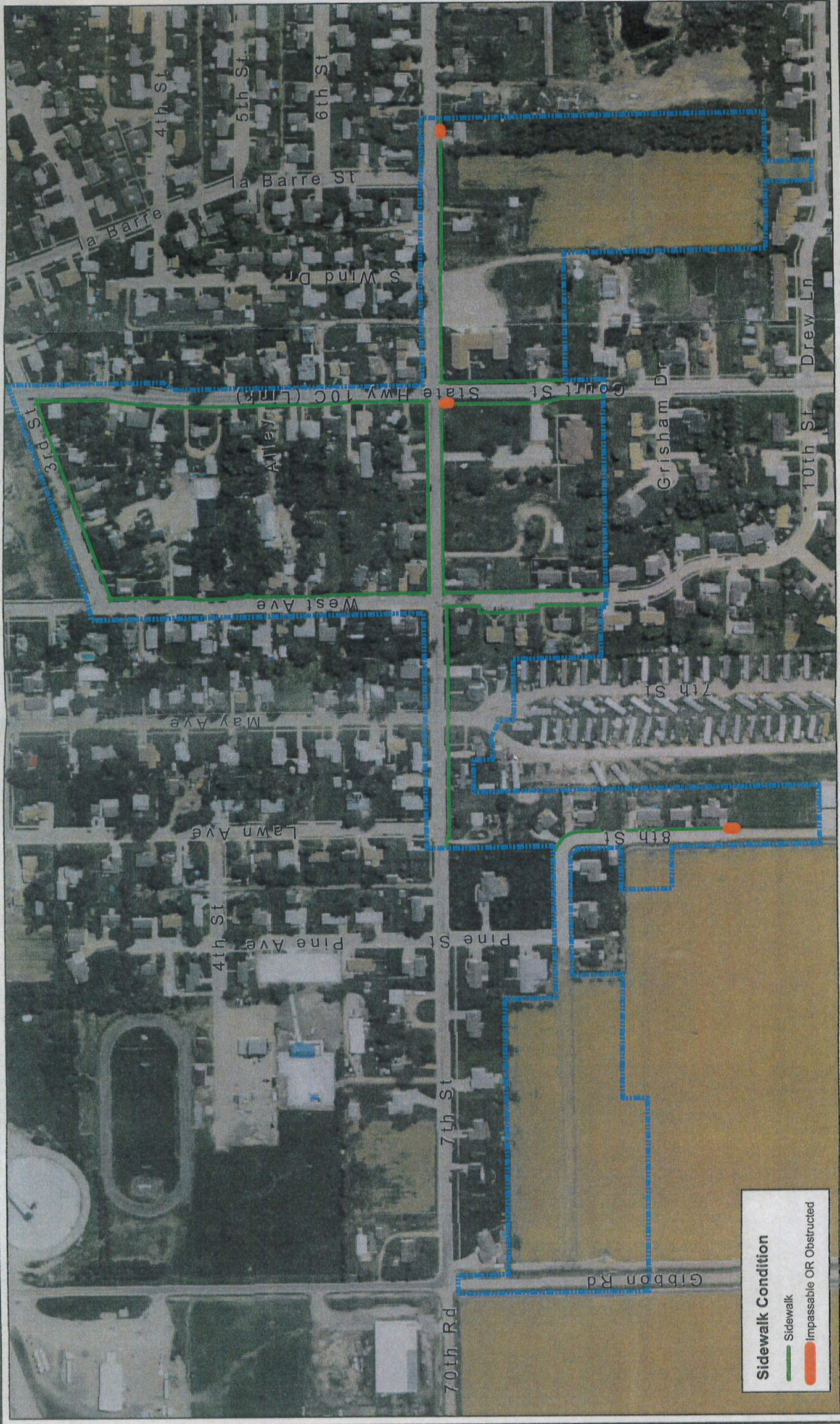
PROJECT: 018-0174 PHASE: 400
 DRAWN BY: JJJOHNSON
 DATE: October 16, 2016



BLIGHT AND SUBSTANDARD STUDY
 PUBLIC INFRASTRUCTURE - STREET CONDITION MAP
 CITY OF GIBBON, NEBRASKA

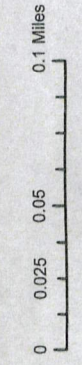
Legend
 2018 Blight Study Area

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Sidewalk Condition

- Sidewalk
- Impassable OR Obstructed



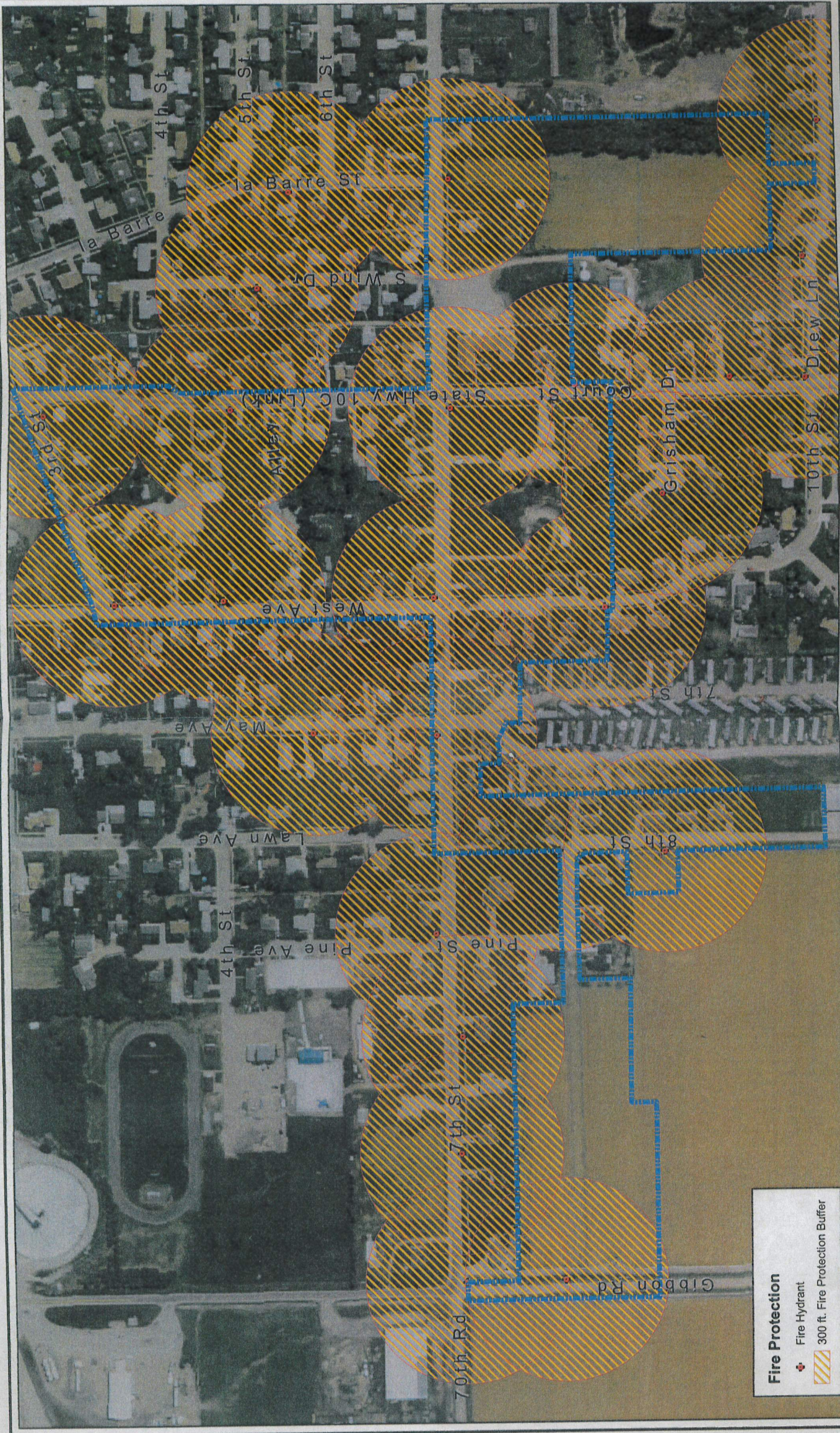
PROJECT: 018-0174 PHASE: 400
 DRAWN BY: JJJOHNSON
 DATE: October 18, 2018

**BLIGHT AND SUBSTANDARD STUDY
 PUBLIC INFRASTRUCTURE - SIDEWALK CONDITION MAP
 CITY OF GIBBON, NEBRASKA**



Legend
 2018 Blight Study Area

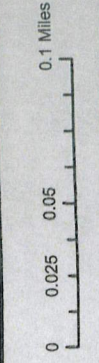


Illustration



Fire Protection


-  Fire Hydrant
-  300 ft. Fire Protection Buffer



PROJECT: 018-0174 PHASE: 400
 DRAWN BY: JJOHNSON
 DATE: October 18, 2018

**BLIGHT AND SUBSTANDARD STUDY
 PUBLIC INFRASTRUCTURE - FIRE HYDRANT MAP
 CITY OF GIBBON, NEBRASKA**

Legend

 2018 Blight Study Area


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